



Application for Architectural Review Board

*** This application must be filled out completely and signed before submittals are placed on the ARB agenda.**

The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.

APPLICANT INFORMATION

Name of Applicant: Tony Camacho

Phone #: 314-486-1846

Email address of Applicant (for review comments): legacydesigngroup@gmail.com

PROJECT PROPERTY INFORMATION

Address for proposed work: 18 Clermont Lane

Zoning District: 'C' Parcel ID # (St. Louis county record): Parcel '3'

DESCRIPTION OF PROPOSED PROJECT: (1) replace existing brick pavers with more stable stone pavers over concrete slab (2) roof structure over patio (3) wood burning fireplace

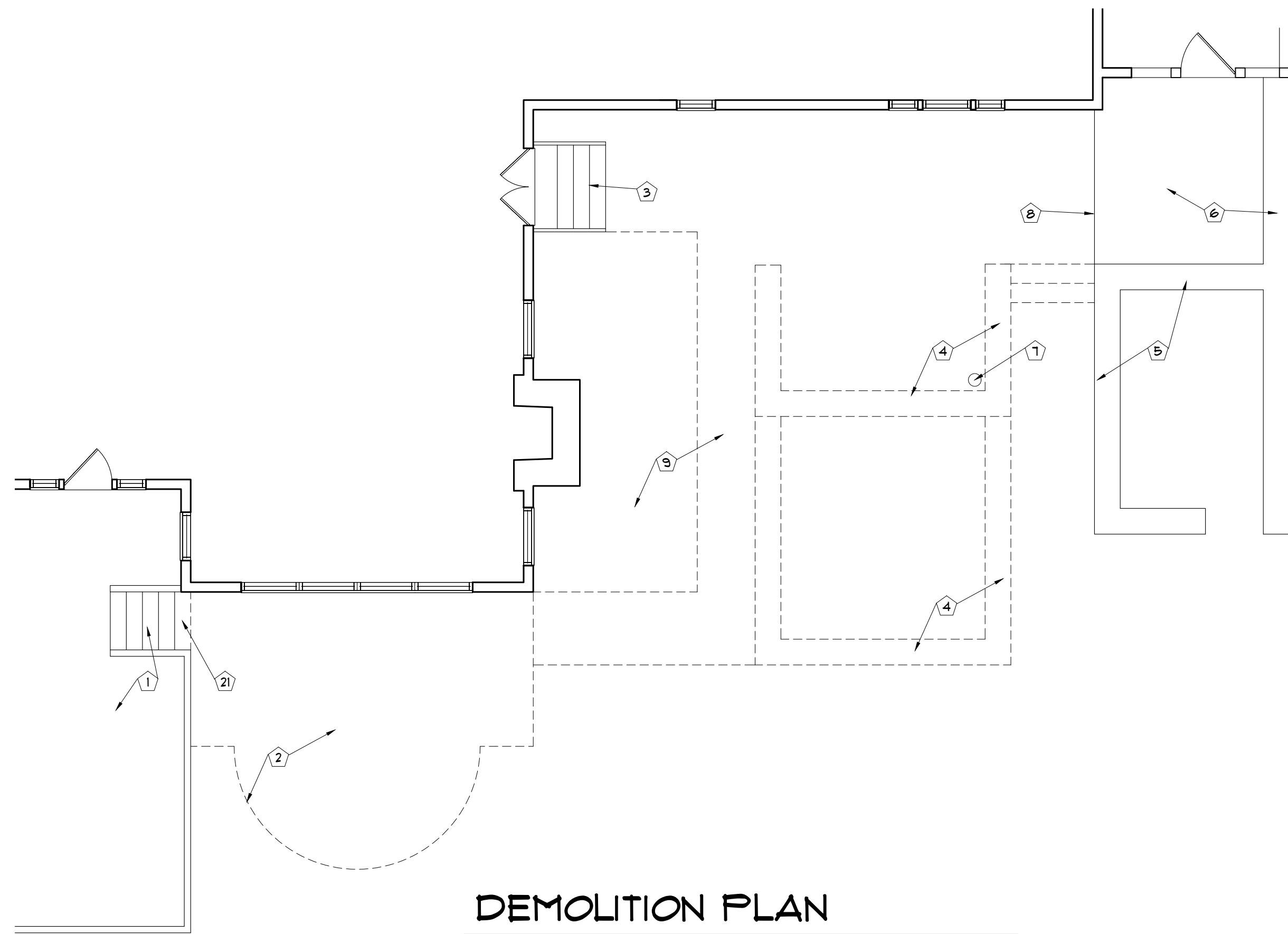
Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.

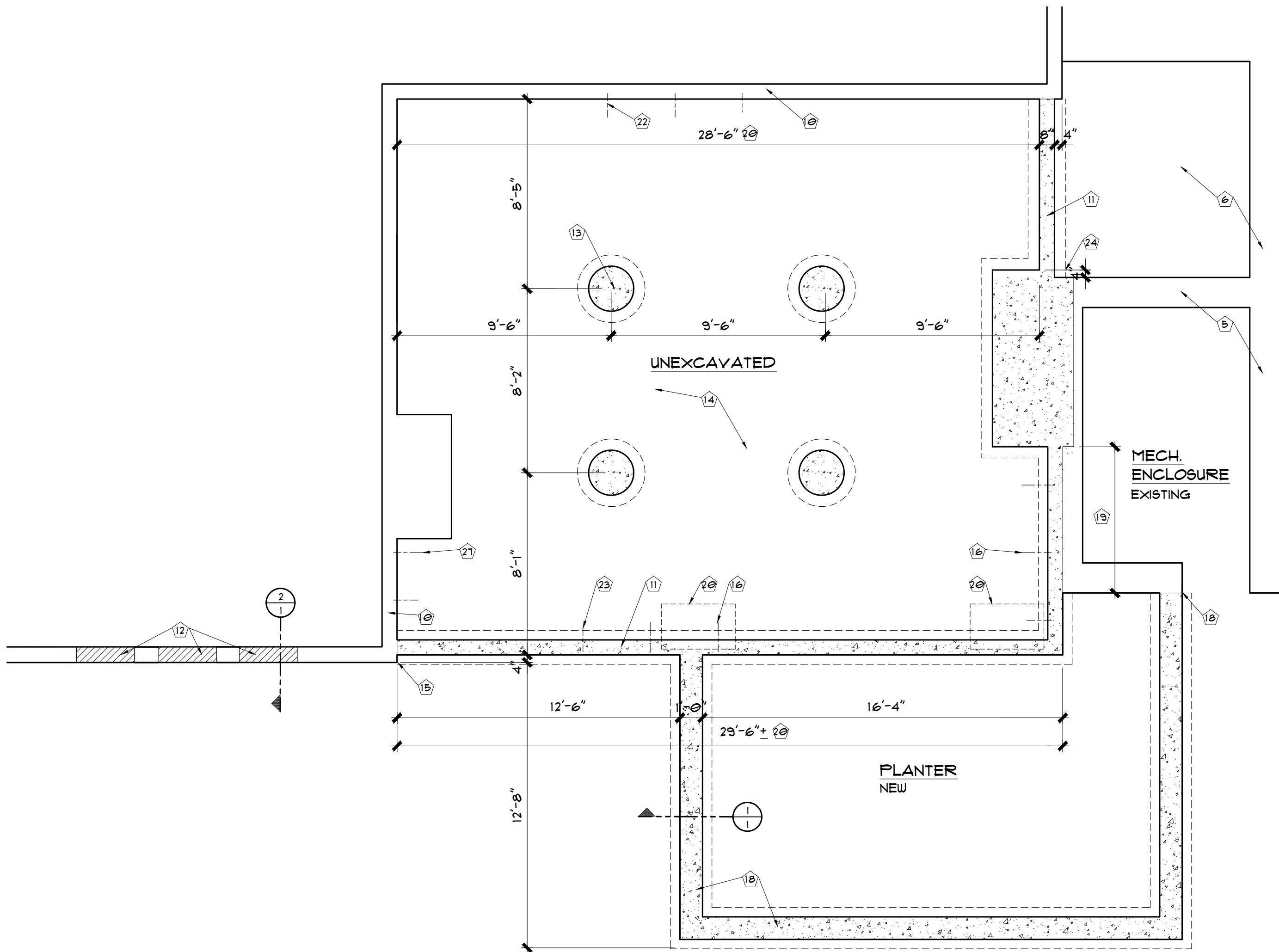
X Tony Camacho Date: 10/25/20

* This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision.



DEMOLITION PLAN

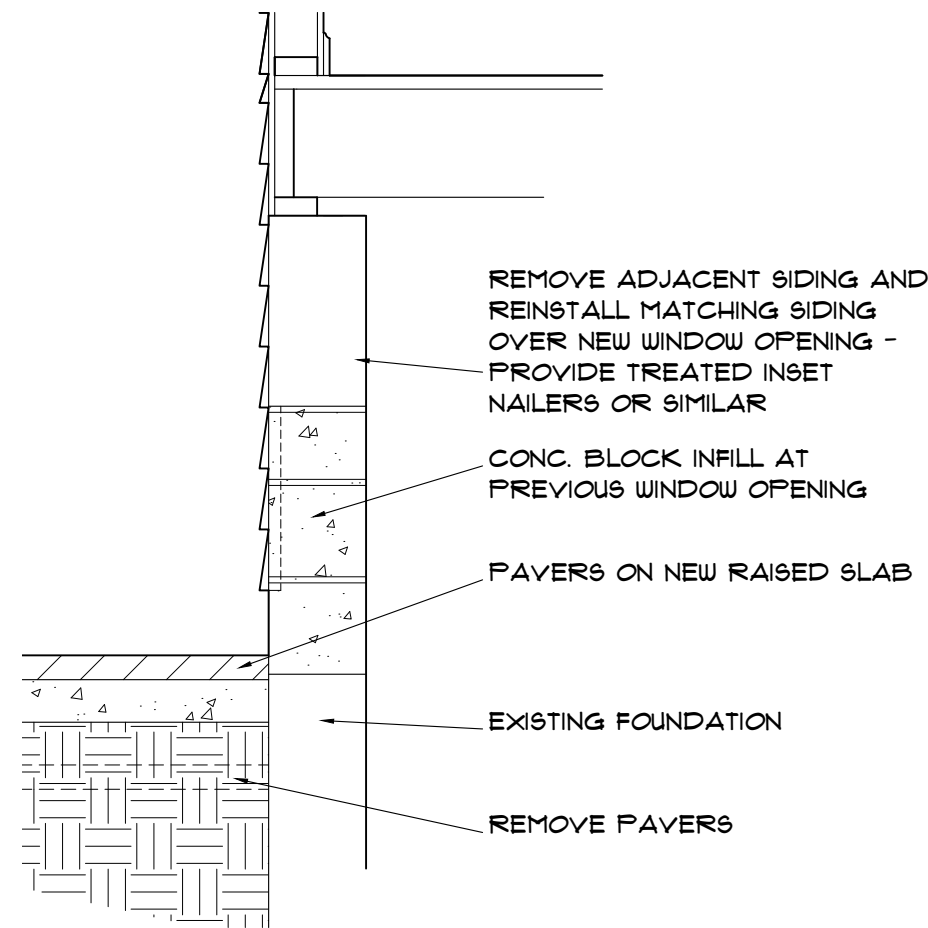
SCALE : 3/16" = 1'-0"



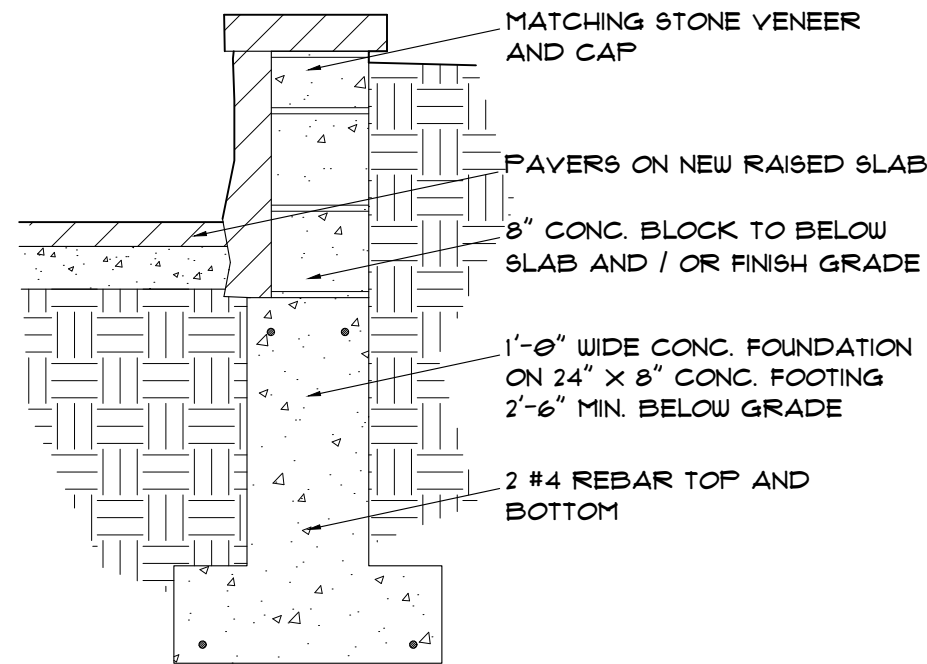
FOUNDATION PLAN

SCALE : 1/4" = 1'-0"

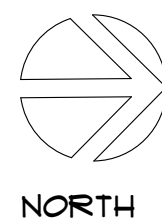
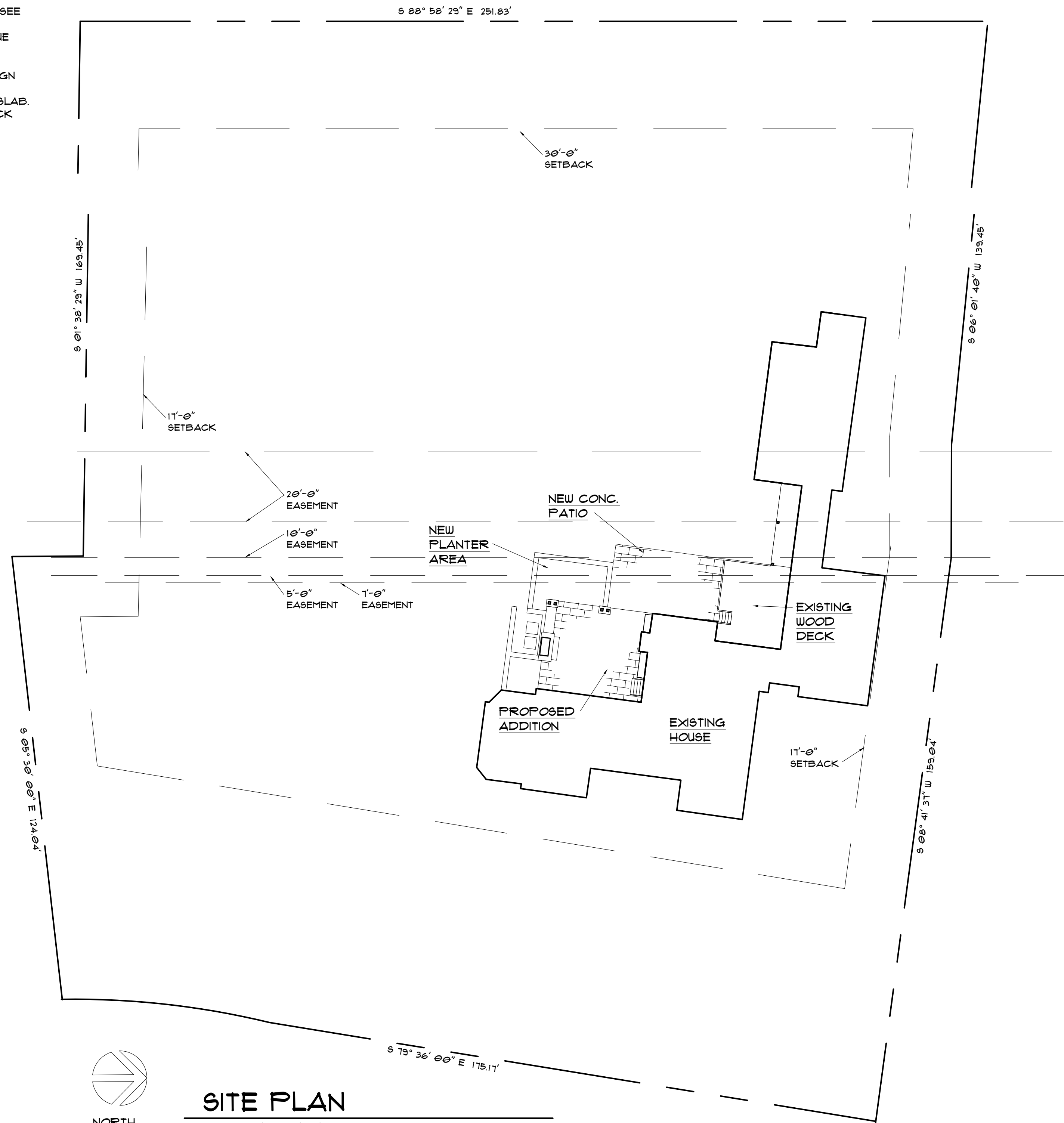
- KEYED NOTES:
- EXISTING FRAMED DECK AND STAIR TO REMAIN.
 - REMOVE BRICK PAVERS.
 - CONCRETE STEPS TO REMAIN - INSTALL OPTIONAL NEW RAIL.
 - REMOVE STONE WALL TO BEYOND NEW CONC. SLAB.
 - STONE WALL TO REMAIN.
 - STONE WALL AND BRICK PAVERS TO REMAIN.
 - EXISTING DRAIN LOCATION TO REMAIN.
 - LOCATION OF EXISTING RISER OR STEP TO REMAIN.
 - REMOVE PLANTER AREA AND ADJACENT BRICK PAVERS.
 - EXISTING FOUNDATION TO REMAIN.
 - 8" CONC. FOUNDATION WITH 2 #4 REBAR TOP AND BOTTOM ON 24" X 8" CONC. FOOTING 2'-6" MIN. BELOW GRADE W/ 2 #4 REBAR - TYPICAL.
 - REMOVE WINDOWS AT FOUNDATION AND INSTALL CONC. BLOCK AT INFILL OF OPENING AT NEW RAISED PATIO - SEE DETAIL 2 SHEET 1.
 - 24" DIAM. CONCRETE PIERS TO 30" MIN. BELOW SLAB OR TO VIRGIN GRADE.
 - PREFAB SIMULATED STONE PAVERS OR SIMILAR OVER 3 1/2 INCH CONCRETE SLAB ON 3" CLEAN ROCK BACKFILL.
 - TERMINATE CONC. FOUNDATION AT CORNER OF FOUNDATION.
 - #4 BENT REBAR AT 36" ON CENTER AT SLAB TO FOUNDATION TERMINATION - TYPICAL AT PERIMETER.
 - 16" WIDE FOUNDATION UNDER NEW STONE RETAINING WALL AT RELOCATED PLANTER - SEE DETAIL 3 SHEET 1.
 - TERMINATE STONE VENEER AT EXISTING STONE WALL BEYOND.
 - FOUR NEW CONC. FOUNDATION ALONG SIDE EXISTING RETAINING WALL AS NEEDED TO ALIGN PROPERLY BEYOND AT HOUSE.
 - STONE PILASTER ABOVE - BEAR ON CONC. SLAB.
 - REMOVE TREAD AT RAISED SLAB - CUT BACK STRINGER TO BEAR ON NEW STONE PAVERS.
 - #4 REBAR PIN AT 36" O.C. AT NEW SLAB.
 - # BENT REBAR AT 36" O.C.
 - LOCATE OUTSIDE FACE OF STONE VENEER 4" BEYOND EXISTING STONE WALL.



DETAIL 2
SCALE : 3/4" = 1'-0"



DETAIL 1
SCALE : 3/4" = 1'-0"



SITE PLAN

SCALE : 1" = 20'-0"

KEYED NOTES:

1.

EXISTING WOOD FRAMED DECK AND STAIR TO REMAIN - RE-ALIGN TREAD WITH RAISED SLAB.
2.

RAISED NEW PATIO AREA ONE RISER HEIGHT AT NEW RAISED PATIO SURFACE.
3.

RAISED NEW PATIO AREA ONE RISER HEIGHT - REMOVE WINDOWS AND INFILL OPENING W/ CONC. BLOCK.
4.

SIMULATED STONE PAVERS OVER 3 1/2 INCH CONCRETE SLAB BACKFILL WITH THREE-QUARTER INCH CLEAN ROCK TO VIRGIN GRADE DASH SLOPE AWAY FROM HOUSE TO DRAINS.
5.

RISER OR STEP AT NEW RAISED SLAB HEIGHT.
6.

EXISTING RISER OR STEP TO REMAIN.
7.

NEW MASONRY SERVING COUNTER W/ BELOW COUNTER REFRIGERATOR AND STAINLESS STEEL CABINET - SEE DETAIL 1 SHEET 2.
8.

BOX BMT TO CLEAR WINDOW.
9.

4"-8" HIGH CONC. FILASTER WITH MATCHING STONE VENEER AT 8 X 8 TREATED BEARING POST - SEE DETAIL 1 SHEET 1.
10.

VOID
11.

3'-0" HIGH COUNTERTOP AT FULL STONE NICHE AT WOOD STORAGE - SEE INTERIOR ELEVATION 1 SHEET 2 - INSTALL SINGLE LAYER OF STONE AT WALLS TO EXPOSE STONE FINISH AT INTERIOR.
12.

42" WIDE "ISOKERN" PREFAB WOOD BURNING MASONRY FIREPLACE WITH MATCHING STONE VENEER - INSTALLED PER MANUFACTURERS SPECIFICATIONS.
13.

LINE OF DECORATIVE BOX BEAM ABOVE - SEE DETAIL 4 SHEET 2.
14.

CAST STONE CAP OR SIMILAR.
15.

EXISTING STONE WALL TO REMAIN.
16.

EXISTING STONE WALL AND BRICK PAVERS TO REMAIN.
17.

EXISTING AIR CONDITIONER CONDENSERS TO REMAIN.
18.

EXISTING CONCRETE STAIR TO REMAIN REPLACE RAILING.
19.

LINE OF PERIMETER TREY SOFFIT.
20.

ALIGN INSIDE FACE OF PARAPET WITH CORNER OF EXISTING WALL.
21.

INSTALL NON-CORROSIVE FLASHING AT EXISTING BRICK FIREPLACE.
22.

EXISTING WOOD SIDING TO REMAIN. TYPICAL
23.

INSTALL NON-CORROSIVE FLASHING AT EXISTING WALL TERMINATION.
24.

IMPORTANT - ALIGN BOTTOM OF TRAY SOFFIT TO TOP OF WINDOW TRIM AT EXISTING WINDOW.
25.

18" HIGH CONCRETE BLOCK HEARTH WITH MATCHING STONE VENEER.
26.

ARCH STONE FIREPLACE OPENING AT PREFAB "ISOKERN" BLOCK FIREPLACE WITH MATCHING STONE VENEER.
27.

MATCHING BRICK VENEER - PAINT - OVER CONC. BLOCK FLUE - INSTALL PER MANUF. SPECIFICATIONS
28.

IMPORTANT - ALIGN BOTTOM OF TREY SOFFIT W/ TOP OF TRIM AT WINDOW BEYOND EXISTING FAMILY ROOM - CLEAR TREY OR DROPPED SOFFIT AT EXISTING CHIMNEY - SEE INTERIOR ELEVATION 2 SHEET 1.
29.

INSTALL NON-CORROSIVE FLASHING AT BRICK VENEER - TYPICAL
30.

MATCHING DOUBLE BRICK ROWLOCK AND SOLDIER CRS. - PAINT.
31.

MATCHING CLAY FLUE AND CONC. WASH.
32.

EXISTING ROOFING TO REMAIN
33.

TPO (THERMOPLASTIC POLYOLEFIN) SINGLE-PLY ROOFING MEMBRANE - INSTALL PER MANUFACTURER SPECS.
34.

BUILT UP ROOF CRICKET TO DRAIN AT ROOF SCUPPER - SEE RIGHT ELEVATION SHEET 3 - .
35.

1 X COMPOSITE CAP AT PARAPET WALL - SEE DETAIL 1 SHEET 4.
36.

STAINED 1 X 4 PRE STAINED BD.AT CEILING.
37.

EXISTING DRAIN LOCATION.
38.

NEW FLOOR DRAIN - CONNECT TO EXISTING.
39.

3'-0" HIGH GRANITE TOP ON STONE VENEER AT WOOD STORAGE - SEE DETAIL 3 SHEET 2.
40.

NATURAL STONE CAP OVER STONE ROWLOCK.
41.

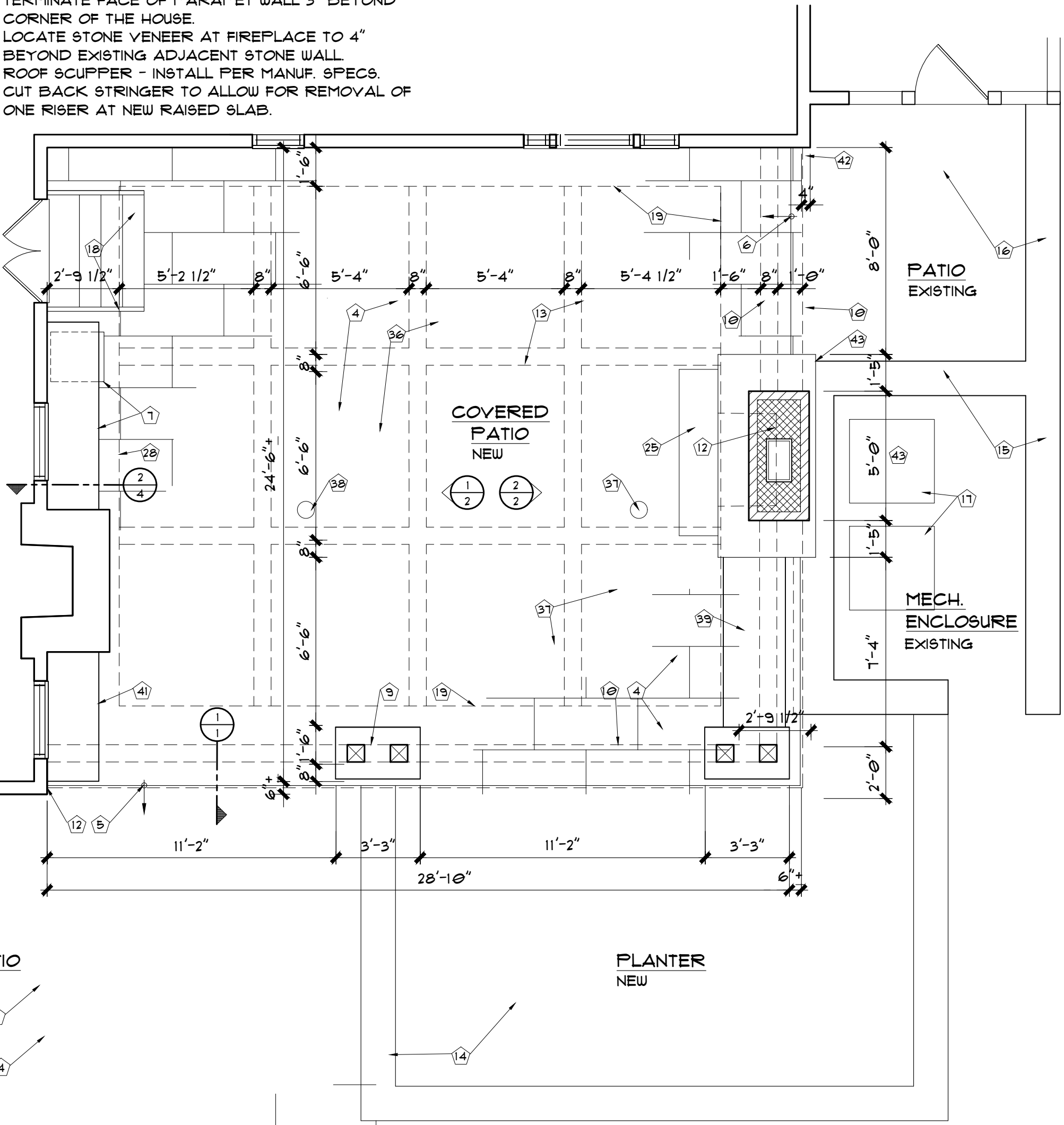
GRANITE COUNTER TOP OVER MASONRY VENEER AND CONC. BLK.
42.

TERMINATE FACE OF PARAPET WALL 3" BEYOND CORNER OF THE HOUSE
43.

LOCATE STONE VENEER AT FIREPLACE TO 4" BEYOND EXISTING ADJACENT STONE WALL.
44.

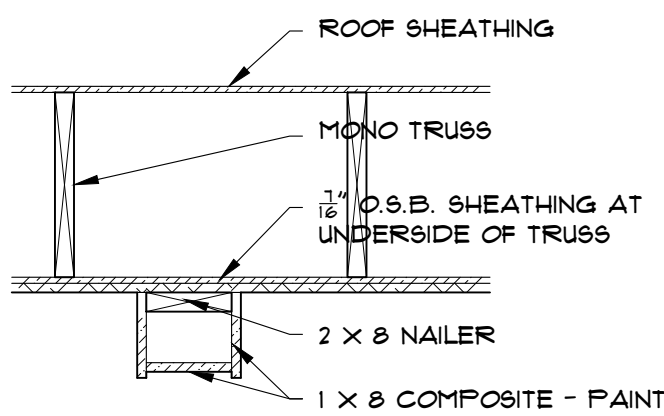
ROOF SCUPPER - INSTALL PER MANUF. SPECS.
45.

CUT BACK STRINGER TO ALLOW FOR REMOVAL OF ONE RISER AT NEW RAISED SLAB.

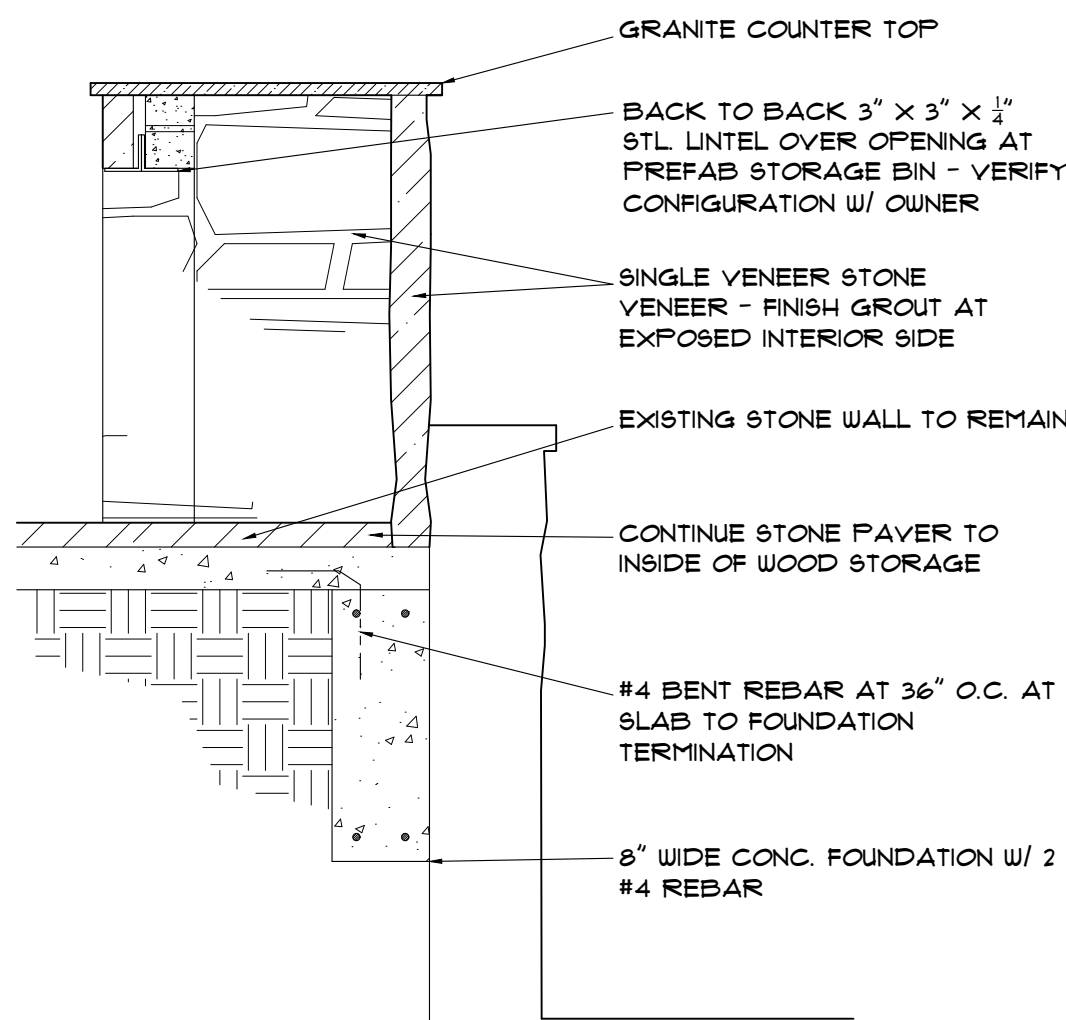


FIRST FLOOR PLAN

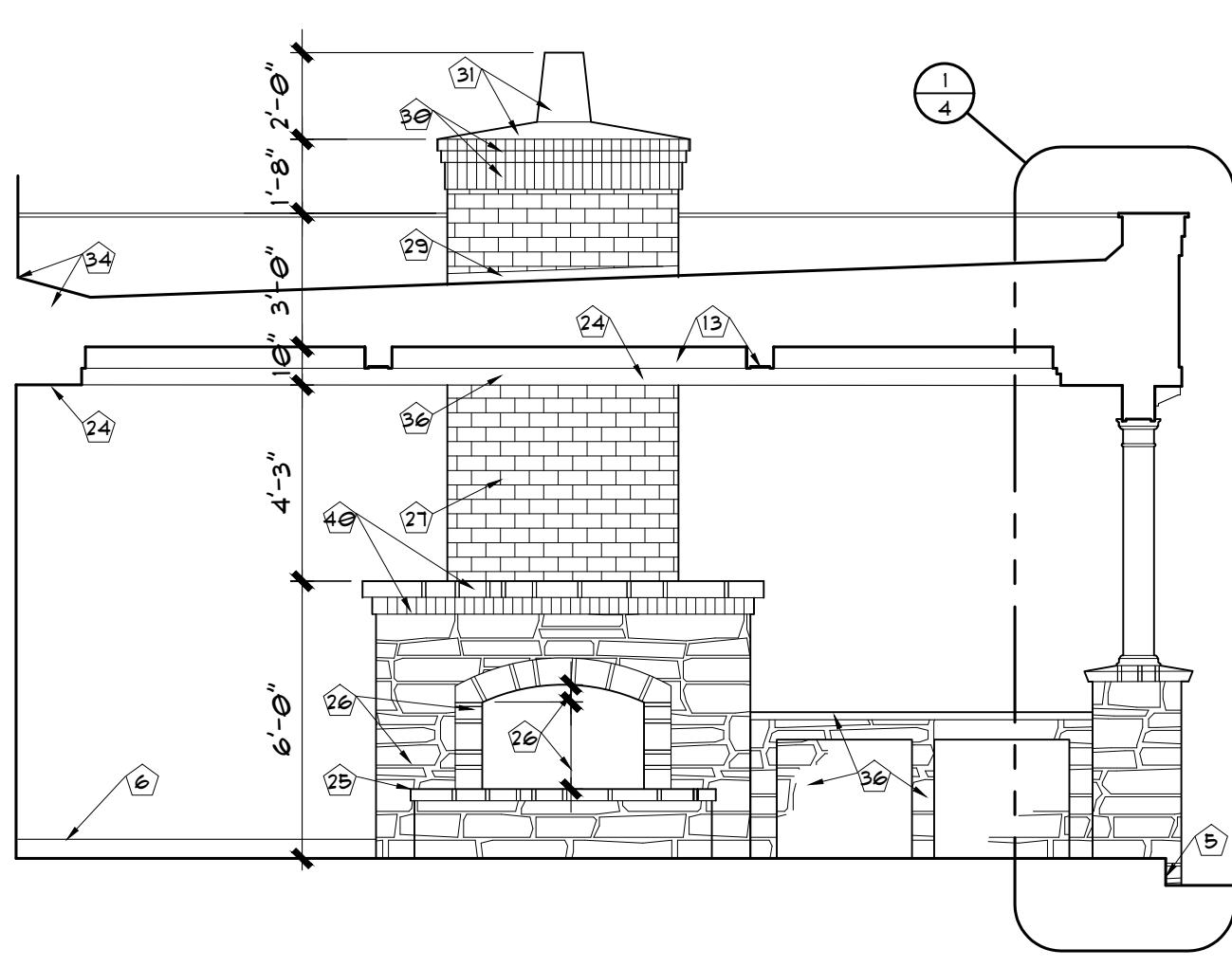
SCALE : 1/4" = 1'-0"



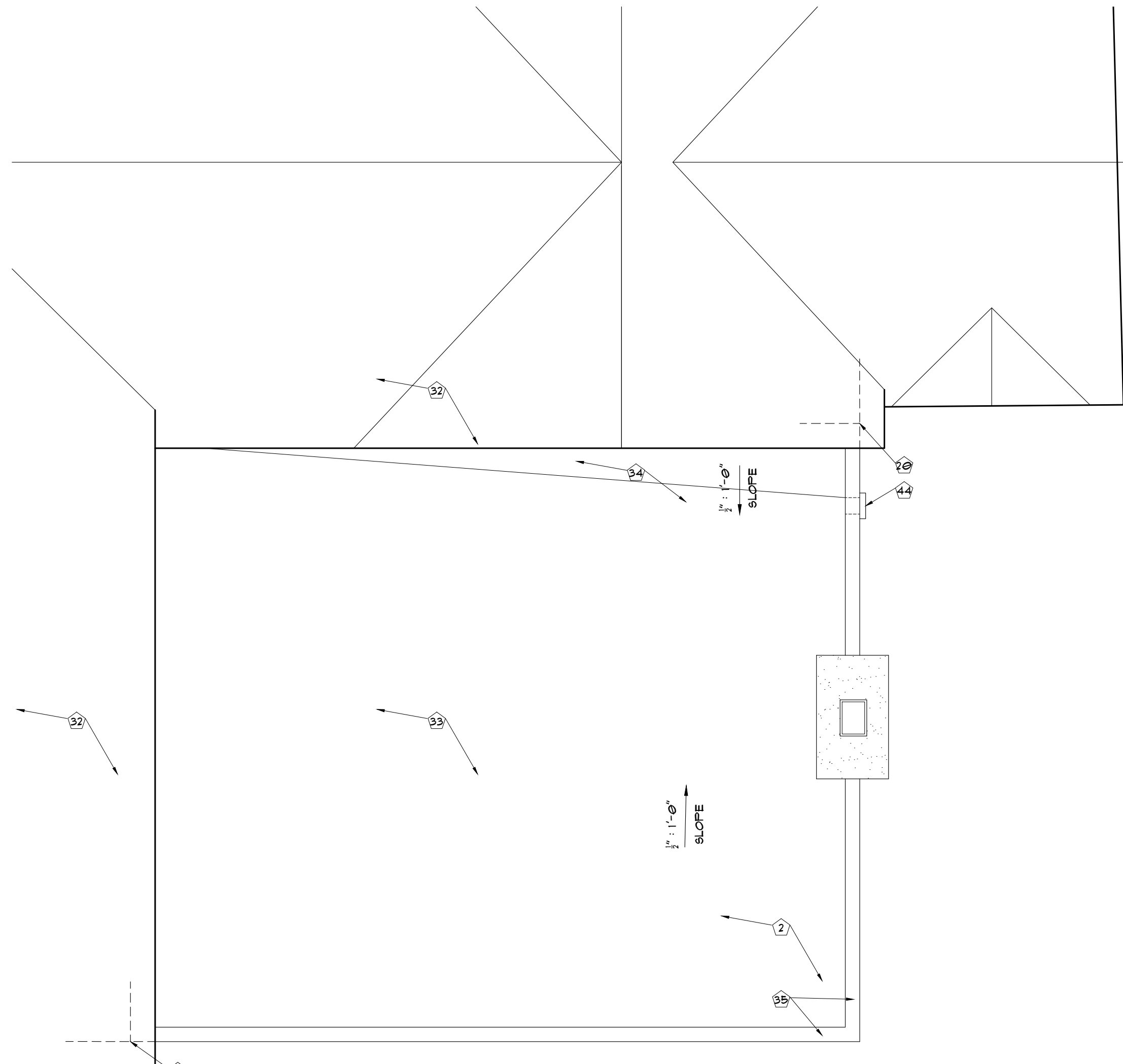
4
2
DETAIL
SCALE : 3/4" = 1'-0"



3
2
DETAIL
SCALE : 3/4" = 1'-0"

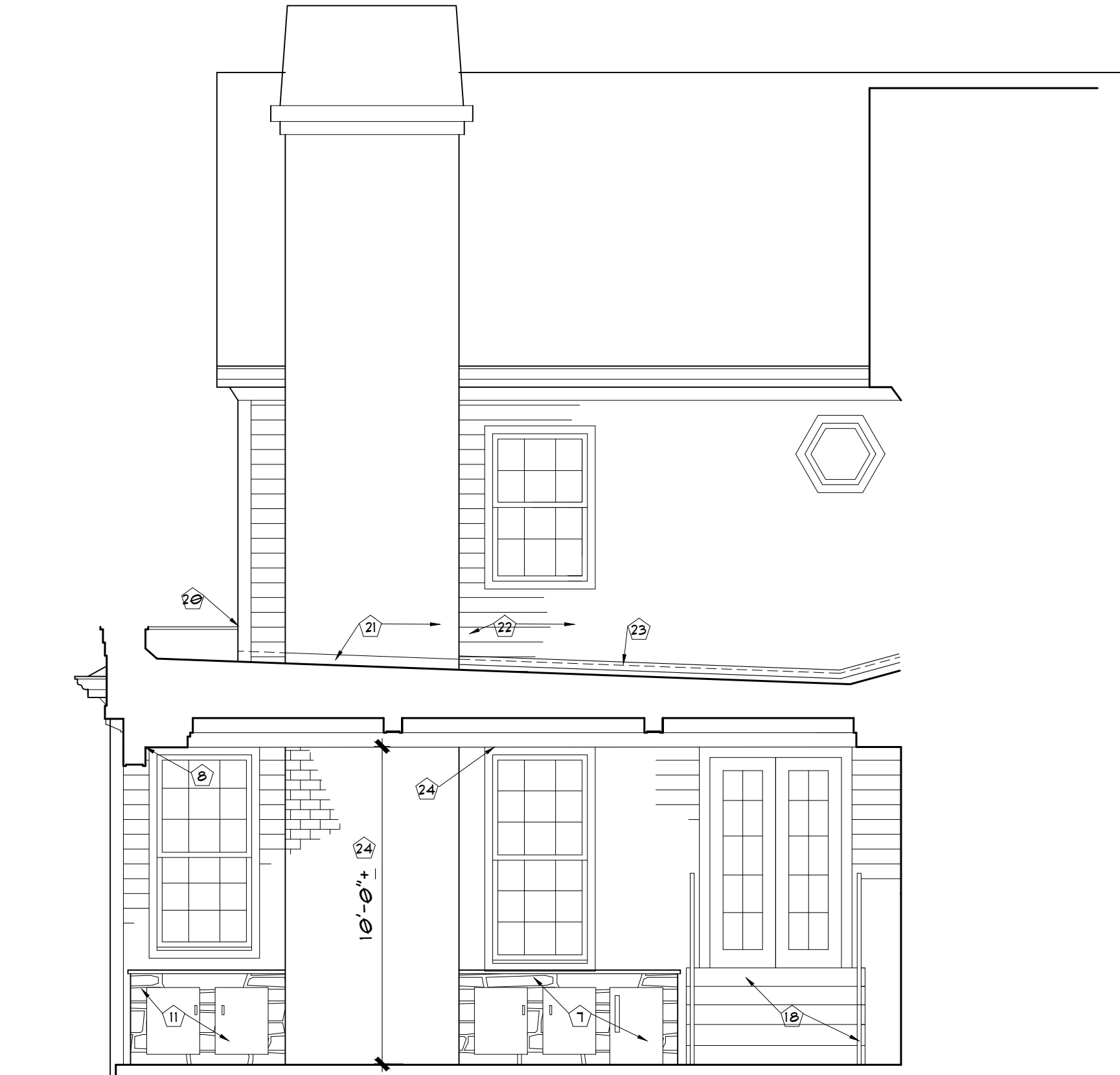


2
2
BUILDING SECTION
SCALE : 3/8" = 1'-0"



ROOF PLAN

SCALE : 1/4" = 1'-0"



1
2
INTERIOR ELEVATION
SCALE : 3/8" = 1'-0"

KEYED NOTES:

1. EXISTING WOOD FRAMED DECK AND STAIR TO REMAIN - REALIGN TREAD WITH RAISED SLAB.
2. RAISED NEW PATIO AREA ONE RISER HEIGHT - ADD FRAMED WALL PROPERLY TO MINIMIZE MOISTURE WICKING - SEE DETAIL 1X SHEET X.
3. RISER OR STEP AT NEW RAISED SLAB HEIGHT.
4. SCUPPER LOCATION - ALLOW FOR ROOF CRICKET - CONTINUE NEW DOWNSPOUT ALONG EXISTING CORNER TRIM.
5. MASONRY SERVING COUNTER WITH STAINLESS STEEL CABINET BELOW - SEE DETAIL 2 SHEET 4.
6. 4'-0" HIGH CONC. PILASTER WITH MATCHING STONE VENEER.
7. 8 X 8 TREATED BEARING POST W/ COMPOSITE WRAP - MATCH FRONT PORCH AT HOUSE - SEE DETAIL 1 SHEET 4.
8. COMPOSITE CORBEL BY 'TYPON' BHT8X1X18 - SEE SH. 3 FOR SPACING.
9. 3'-0" HIGH COUNTERTOP AT FULL STONE NICHE AT WOOD STORAGE SEE INTERIOR ELEVATION 2 SHEET 2.
10. CAST STONE CAP OR SIMILAR.
11. EXISTING STONE WALL TO REMAIN.
12. ALIGN INSIDE FACE OF PARAPET WITH CORNER OF EXISTING WALL.
13. EXISTING WOOD SIDING TO REMAIN. TYPICAL.
14. MATCHING BRICK VENEER - PAINT - OVER CONC. BLOCK CHIMNEY - INSTALL PER MANUF. SPECIFICATIONS.
15. DOUBLE BRICK ROWLOCK AND SOLDIER CRS. W/ MATCHING BRICK VENEER - PAINT.
16. MATCHING CLAY FLUE AND CONC. WASH.
17. EXISTING ROOFING TO REMAIN.
18. 1 X COMPOSITE CAP AND 1 X 6 TRIM OVER 1 X 4 AT PARAPET WALL - SEE DETAIL 1 SHEET 4.
19. IMPORTANT - TOP OF ROOF AND FLASHING TO CLEAR BOTTOM OF THIS WINDOW.
20. 1 X 6 COMPOSITE TRIM OVER COMPOSITE SHEATHING - TYPICAL.
21. RELOCATE DOWNSPOUT TO IN FRONT OF NEW PARAPET.
22. REMOVE WINDOWS AT FOUNDATION AND INSTALL CONC. BLOCK AT INFILL OF OPENING AT NEW RAISED PATIO - SEE DETAIL 2 SHEET 1.
23. RELOCATED PLANTING AREA AT NEW CONC. BLOCK WALL W/ MATCHING STONE VENEER AND CAP.
24. REMOVE METAL HOUSING AT BASEMENT - FRAME IN OPENING AND INSTALL MATCHING SIDING OVER HOUSEWRAP - TYPICAL.
25. INSTALL SIDING OVER HOUSEWRAP AT REMOVED SIDING AREA.
26. LINE OF FLAT SCREEN LOCATION.
27. INSTALL ROOF CRICKET W/ NON CORROSIVE FLASHING AT PARAPET WALL.
28. LOCATE TOP OF CAP AT NEW PLANTER TO BE 2" BELOW TOP OF ADJACENT NEW PAVERS.



FRONT

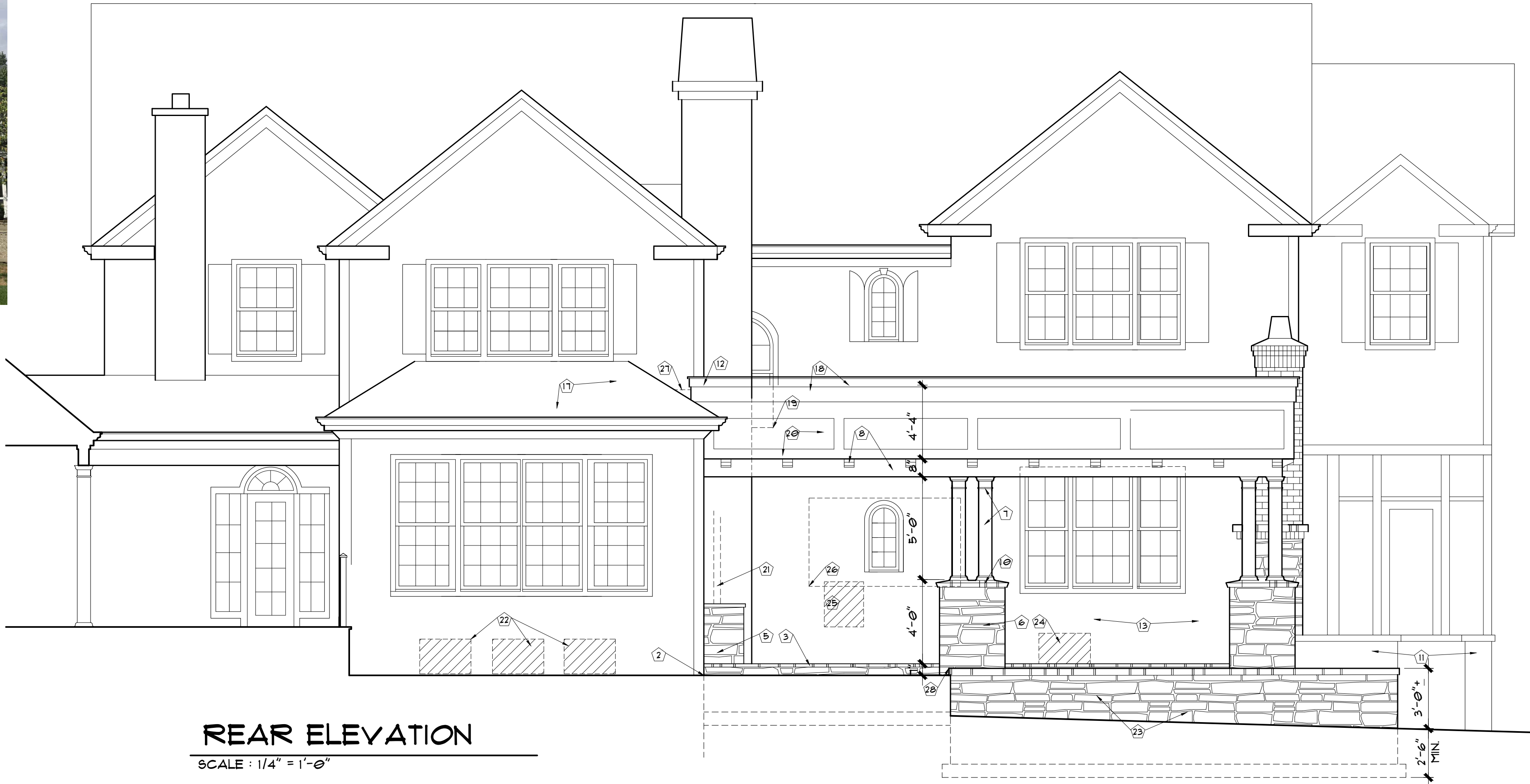


REAR



REAR OVERALL

PROPOSED
ADDITION



REAR ELEVATION

SCALE : 1/4" = 1'-0"

LEGACY DESIGN GROUP

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St. Louis, Missouri 63130
314-486-1846 legacydesigngroup@gmail.com

PROPOSED PORCH ADDITION AT:

18 CLERMONT LANE
LADUE, MISSOURI 63124

A3

SHEET 3 OF 3
DATE 10/10/20
REVISION